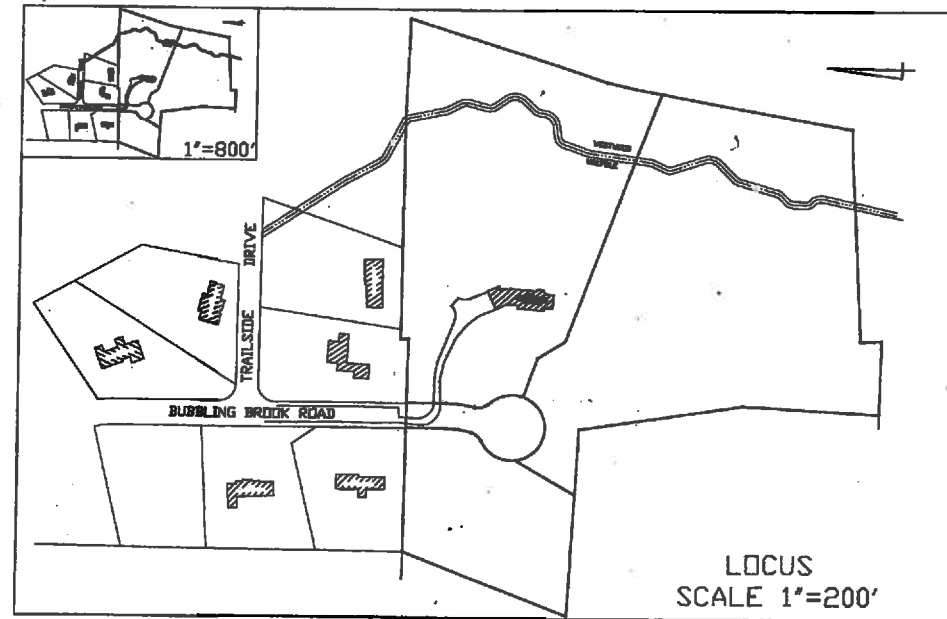


# KINGSWOOD ESTATES A SINGLE FAMILY SUBDIVISION WALPOLE, MA FEBRUARY 6, 2014

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 APPROVED: \_\_\_\_\_  
 ENDORSED: \_\_\_\_\_

I, \_\_\_\_\_ CLERK OF THE TOWN OF WALPOLE RECEIVED AND RECORDED FROM THE PLANNING BOARD APPROVAL OF THIS PLAN AND NO APPEAL HAS BEEN TAKEN FOR TWENTY (20) DAYS NEXT AFTER RECEIPT AND RECORDING OF THE SAME.

WALPOLE TOWN CLERK



**OWNER:**

THOMAS C. TAYLOR  
 44 BUBBLING BROOK ROAD  
 WALPOLE, MA 02081

**APPLICANT:**

THOMAS C. TAYLOR  
 44 BUBBLING BROOK ROAD  
 WALPOLE, MA 02081

**ASSESSOR'S REFERENCE:**

MAP 6 LDT 13

**DEED REFERENCE:**

BOOK 7778, PAGE 168

**PLAN REFERENCE:**

PLAN BOOK 301, PLAN 174

**ZONING DISTRICT:**

RURAL  
 FRONT SETBACK 30'  
 REAR SETBACK 30'  
 SIDELINE SETBACK 25'  
 FRONTAGE 200'  
 LOT AREA 40,000 S. F.

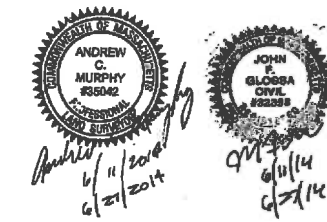
**PLAN INDEX**

- SHEET 1: COVER SHEET (LOCUS AND GENERAL LAYOUT MAP)
- SHEET 2: EXISTING CONDITIONS PLAN
- SHEET 3: LOT LAYOUT PLAN
- SHEET 4: STREET PLAN AND PROFILE
- SHEET 5: OFF SITE UTILITIES PLAN
- SHEET 6: GRADING AND DRAINAGE PLAN
- SHEET 7: DETAIL SHEET- ROAD
- SHEET 8: DETAIL SHEET- DRAINAGE
- SHEET 9: DETAIL SHEET- WATER
- SHEET 10: DETAIL SHEET- SEWER

**WAIVER REQUESTS:**

1) SECTION III-1 (b) MUNICIPAL SYSTEM ANALYSIS  
 - ALLOW THE APPLICATION TO BE SUBMITTED AND ACCEPTED WITHOUT A MUNICIPAL SYSTEM ANALYSIS

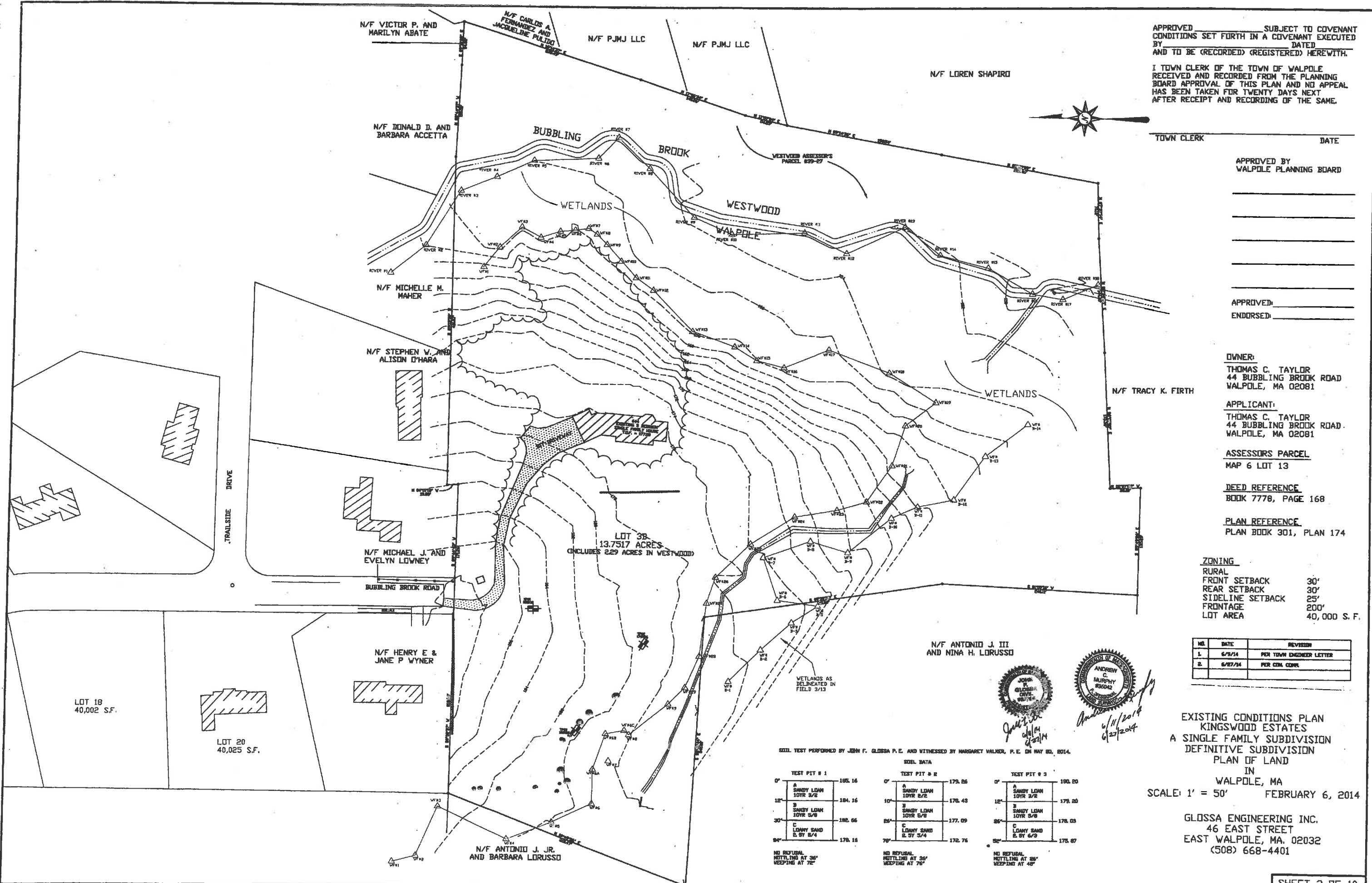
2) SECTION III-4 (b) HORIZONTAL SCALE  
 - ALLOW THE PLAN TO BE DRAWN AT A SCALE OF 1" = 50'



NO.	DATE	REVISION
1.	6/9/14	PER TOWN ENGINEER LETTER
B.	6/27/14	PER CON. COMM.

**ENGINEER:**

GLOSSA ENGINEERING INC.  
 46 EAST STREET  
 EAST WALPOLE, MA 02032  
 (508) 668 - 4401



APPROVED \_\_\_\_\_ SUBJECT TO COVENANT  
 CONDITIONS SET FORTH IN A COVENANT EXECUTED  
 BY \_\_\_\_\_ DATED \_\_\_\_\_  
 AND TO BE (RECORDED) (REGISTERED) HEREWITH.

I TOWN CLERK OF THE TOWN OF WALPOLE  
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 BOARD APPROVAL OF THIS PLAN AND NO APPEAL  
 HAS BEEN TAKEN FOR TWENTY DAYS NEXT  
 AFTER RECEIPT AND RECORDING OF THE SAME.



TOWN CLERK \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY  
 WALPOLE PLANNING BOARD

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

APPROVED:  
 ENDORSED: \_\_\_\_\_

OWNER:  
 THOMAS C. TAYLOR  
 44 BUBBLING BROOK ROAD  
 WALPOLE, MA 02081

APPLICANT:  
 THOMAS C. TAYLOR  
 44 BUBBLING BROOK ROAD.  
 WALPOLE, MA 02081

ASSESSORS PARCEL  
 MAP 6 LOT 13

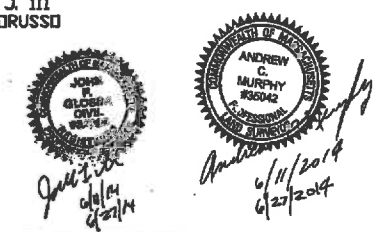
DEED REFERENCE  
 BOOK 7778, PAGE 168

PLAN REFERENCE  
 PLAN BOOK 301, PLAN 174

ZONING

RURAL	
FRONT SETBACK	30'
REAR SETBACK	30'
SIDELINE SETBACK	25'
FRONTAGE	200'
LOT AREA	40,000 S. F.

NO.	DATE	REVISION
1.	6/9/14	PER TOWN ENGINEER LETTER
2.	6/27/14	PER CDM CORP.



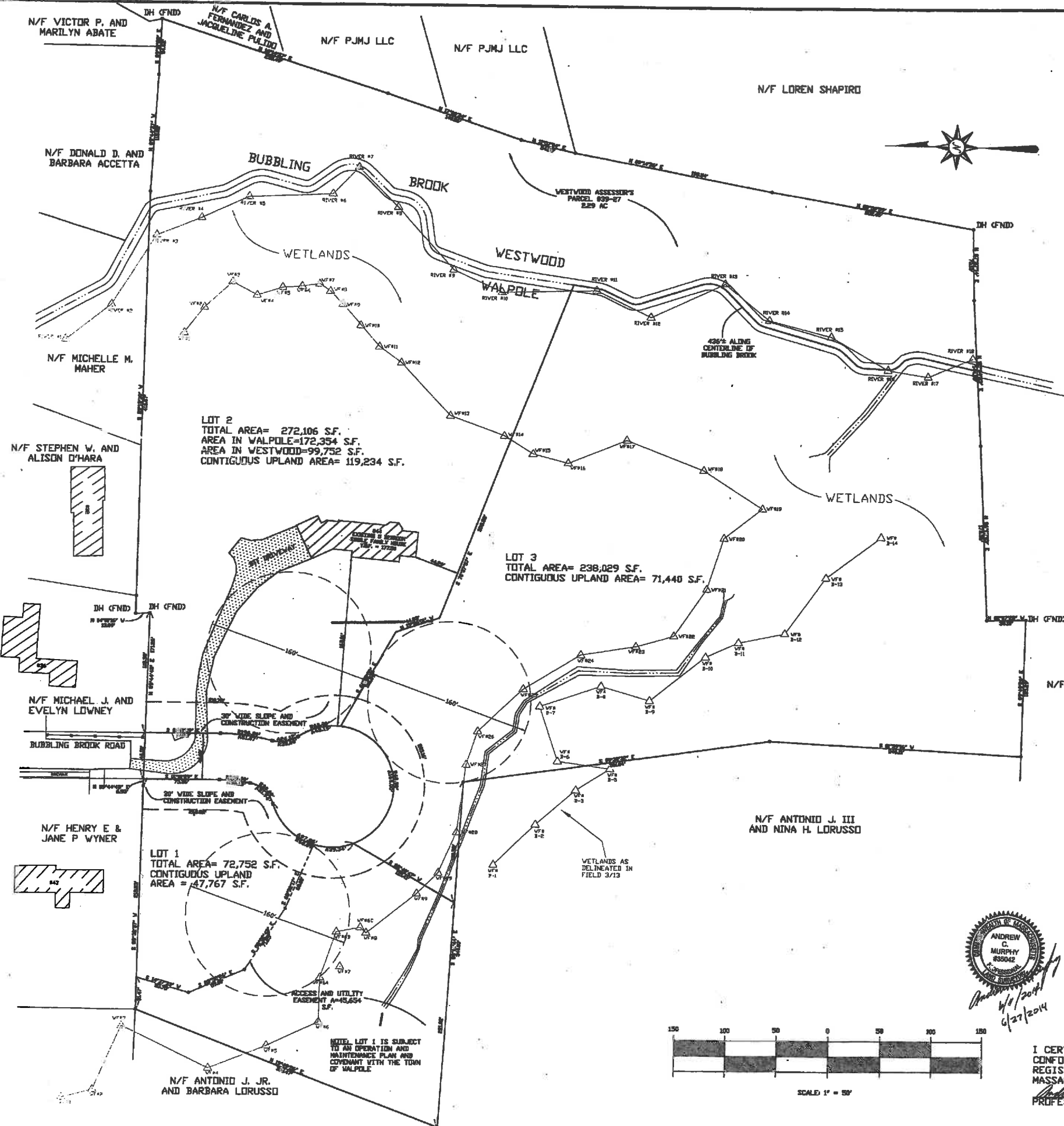
EXISTING CONDITIONS PLAN  
 KINGSWOOD ESTATES  
 A SINGLE FAMILY SUBDIVISION  
 DEFINITIVE SUBDIVISION  
 PLAN OF LAND  
 IN  
 WALPOLE, MA  
 SCALE: 1" = 50' FEBRUARY 6, 2014

GLOSSA ENGINEERING INC.  
 46 EAST STREET  
 EAST WALPOLE, MA. 02032  
 (508) 668-4401

SOIL TEST PERFORMED BY JOHN F. GLOSSA P.E. AND WITNESSED BY MARGARET WALKER, P.E. ON MAY 20, 2014.

TEST PIT # 1		TEST PIT # 2		TEST PIT # 3	
0"	185.16	0"	179.26	0"	180.20
A	SANDY LOAM	A	SANDY LOAM	A	SANDY LOAM
10"	184.16	10"	178.43	10"	179.20
B	SANDY LOAM	B	SANDY LOAM	B	SANDY LOAM
20"	188.06	20"	177.09	20"	178.03
C	LOAMY SAND	C	LOAMY SAND	C	LOAMY SAND
30"	178.16	30"	172.76	30"	178.07
D		D		D	
40"		40"		40"	
50"		50"		50"	
60"		60"		60"	
70"		70"		70"	
80"		80"		80"	
90"		90"		90"	
100"		100"		100"	

NO REFUSAL  
 NOTTLING AT 36"  
 KEEPING AT 72"



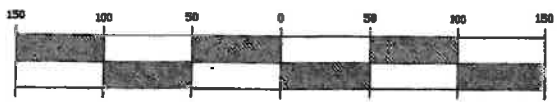
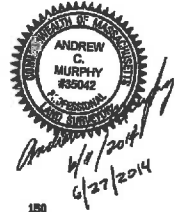
LOT 2  
 TOTAL AREA= 272,106 S.F.  
 AREA IN WALPOLE=172,354 S.F.  
 AREA IN WESTWOOD=99,752 S.F.  
 CONTIGUOUS UPLAND AREA= 119,234 S.F.

LOT 3  
 TOTAL AREA= 238,029 S.F.  
 CONTIGUOUS UPLAND AREA= 71,440 S.F.

LOT 1  
 TOTAL AREA= 72,752 S.F.  
 CONTIGUOUS UPLAND  
 AREA = 47,767 S.F.

NOTE: LOT 1 IS SUBJECT  
 TO AN OPERATION AND  
 MAINTENANCE PLAN AND  
 COVENANT WITH THE TOWN  
 OF WALPOLE.

GENERAL NOTES:  
 1) NO PERMANENT STRUCTURES SHALL BE PLACED IN THE ACCESS AND UTILITY EASEMENTS.  
 2) ACCESS TO RETENTION BASINS AND OTHER DRAINAGE FACILITIES SHALL NOT BE BLOCKED BY FENCES OR OTHER STRUCTURES.  
 \*DENOTES GRANITE BOUND TO BE SET



NO.	DATE	REVISION
1.	6/9/14	PER TOWN ENGINEER LETTER
2.	6/27/14	PER CON. COR.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS  
 Andrew C. Murphy  
 PROFESSIONAL LAND SURVEYOR  
 DATE 6/11/2014

APPROVED BY  
 WALPOLE PLANNING BOARD

APPROVED: \_\_\_\_\_  
 ENDORSED: \_\_\_\_\_

APPROVED \_\_\_\_\_ SUBJECT TO COVENANT  
 CONDITIONS SET FORTH IN A COVENANT EXECUTED  
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ASSESSORS PARCEL  
 MAP 6 LOT 13

DEED REFERENCE  
 BOOK 777B, PAGE 168

PLAN REFERENCE  
 PLAN BOOK 301, PLAN 174

ZONING  
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 FRONT SETBACK 30'  
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 SIDELINE SETBACK 25'  
 FRONTAGE 200'  
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LOT LAYOUT PLAN  
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